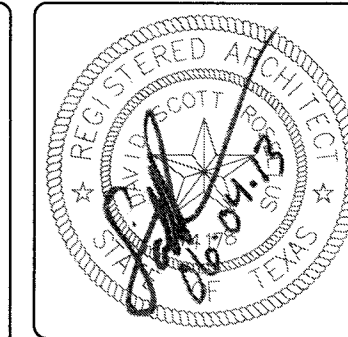


# HARMONY SCHOOL ACADEMY

## 2131 S. TEXAS AVENUE

### BRYAN, TEXAS 77802

SITE DEVELOPMENT REVIEW  
ISSUED: JUNE 4, 2013

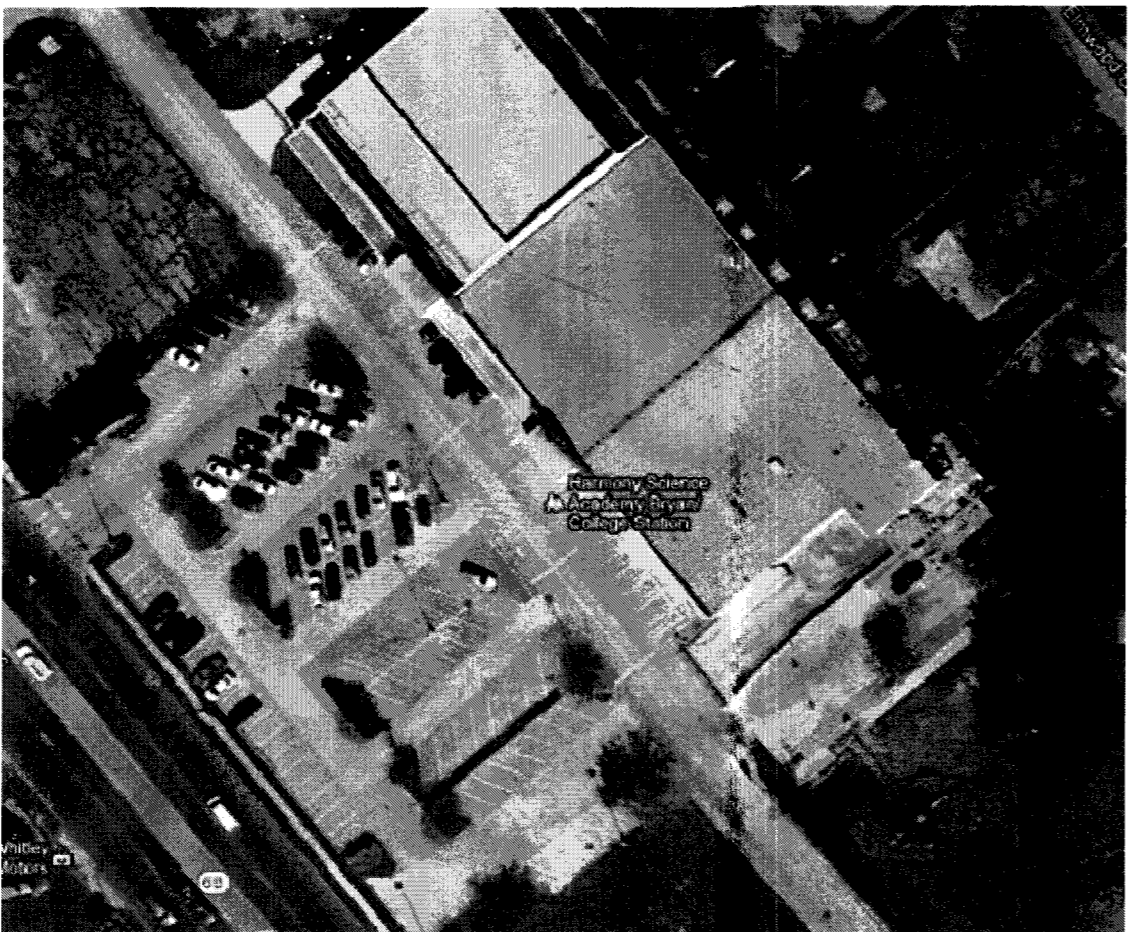


JUN 05 2013

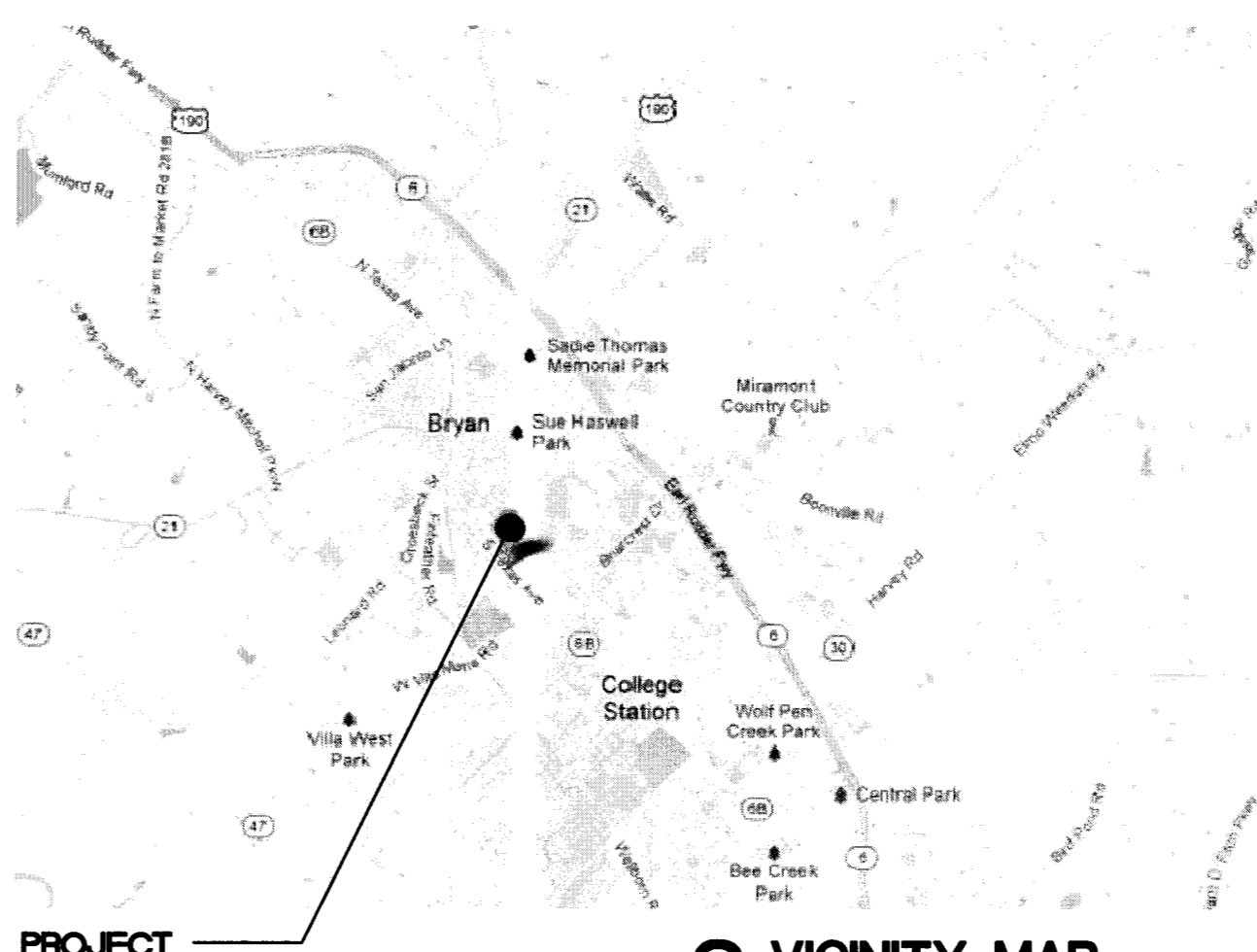
ISSUE DATES	
DATE	REVIEW
06-04-13	SITE DEVELOPMENT REVIEW

PARKING CALCULATIONS				
DESCRIPTION	STUDENT COUNT	BRYAN PARKING COEFFICIENT	REQUIRED PARKING SPACES	PROVIDED PARKING SPACES
EXISTING HARMONY SCHOOL-ELEMENTARY	288 STUDENTS	1 SPACES PER 20 STUDENTS	14.4	
EXISTING HARMONY SCHOOL-MID. SCHOOL	168 STUDENTS	1 SPACES PER 15 STUDENTS	11.2	
EXISTING HARMONY SCHOOL-HIGH SCHOOL	78 STUDENTS	1 SPACES PER 3 STUDENTS	26	
EXISTING SCHOOL TOTALS			51.6	126
NEW MODULAR BUILDINGS ELEMENTARY ONLY - GRADES 3,4,5	6 NEW CLASSROOMS	1 SPACES PER 20 STUDENTS	12	
TOTAL SPACES			(51.6+12)=64	126
H.C. SPACES PROVIDED				5

17 PARKING CALCULATIONS



13 LOCATION MAP



8 VICINITY MAP

DRAWING INDEX AND ISSUE DATES		
G.I.O.	TITLE - CODE ANALYSIS	ISSUE FOR PERMIT
	PLAT/SURVEY	05-1-13
A1.1	ARCHITECTURAL SITE PLAN	05-1-13
TD-1	FOUNDATION AND ANCHOR PLAN	05-1-13
TD-2	FOUNDATION AND ANCHOR PLAN	05-1-13
TD-3	FOUNDATION AND ANCHOR PLAN	05-1-13
R-1	RAMP AND STAIR DETAILS	05-1-13
R-2	RAMP AND STAIR DETAILS	05-1-13
R-3	RAMP AND STAIR DETAILS	05-1-13
E1.1	ELECTRICAL SITE PLAN	05-1-13
AMTEX 1-11	MODULAR BUILDING PLAN SET SHEETS 1-11	05-1-13

#### PROJECT SCOPE:

INSTALL 3 MANUFACTURED MODULAR BUILDING IN THE EXISTING NORTHWEST CORNER OF THE EXISTING PROPERTY. ADD COVERED WALKWAY FOR WALKWAYS TO BUILDINGS. ADD DECK PLATFORMS WITH STAIRS AND RAMPS TO MEET ADA REQUIREMENTS FOR ACCESS.

INSTALL NEW ELECTRICAL SERVICE FROM EXISTING BUILDINGS.

CANOPY BY  
DEFERRED PERMIT

4 PROJECT SCOPE

#### GENERAL NOTES:

- THE DOCUMENTS ARE TO BE CONSIDERED A WHOLE PACKAGE AND SHALL NOT BE BROKEN OUT INTO PIECES—EITHER BY TRADE, ROOMS OR EQUIPMENT. THE G.C. SHALL REFER TO ALL SHEETS FOR RELEVANT INFORMATION INCLUDING ADDITIONAL INFORMATION TO BE PROVIDED BY THE OWNER, SUCH AS BUT NOT LIMITED TO SPECIAL FINISHING REQUIREMENTS, ANY CHANGES OR MODIFICATIONS, ETC.
- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, AS WELL AS UNDERWRITERS REGULATIONS HAVING JURISDICTION. THE CONTRACTORS SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE BUILDING OWNER, IF APPLICABLE.
- ALL CONTRACTORS SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS. NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- ALL PERMITS NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FINAL CERTIFICATES AND COORDINATING RELATED AND NECESSARY INSPECTIONS.
- CONTRACTOR SHALL MAINTAIN AND SUBMIT TO OWNER OR HIS REPRESENTATIVE THE REQUIRED CERTIFICATES OF INSURANCE PRIOR TO COMMENCEMENT OF WORK.
- THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT AND SERVICES NECESSARY FOR, AND REASONABLY INCIDENTAL TO THE COMPLETION, IN PLACE, OF ALL WORK ILLUSTRATED AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL BE FAMILIAR WITH JOB SITE CONDITIONS AND THE LACK OF SPECIFIC INFORMATION ON THE DRAWINGS SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY. CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DETAILS BEFORE SUBMITTING HIS BID AS NO ALLOWANCES WILL BE MADE BECAUSE OF THE CONTRACTOR'S UNFAMILIARITY WITH THE JOB SITE CONDITIONS.
- CONDITIONS DEPicted ON THESE DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND MUST BE VERIFIED WITH ON-SITE CONDITIONS. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTORS SHALL RECEIVE, HANDLE, STORE (WHEN NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS. ALL MATERIALS SHALL BE ACCOUNTED FOR UPON RECEIPT AND ANY MISSING OR DAMAGED PARTS SHALL BE REPORTED TO THE ARCHITECT AND/OR OWNER IMMEDIATELY.
- THE CONTRACTORS SHALL REMOVE RUBBISH AND DEBRIS FROM THE BUILDING SITE PROMPTLY UPON ACCUMULATION AND IN NO EVENT LESS FREQUENTLY THAN EVERY FRIDAY AFTERNOON.
- CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES.
- ALL DELIVERIES AND MODIFICATIONS TO THE BUILDING SHALL BE COORDINATED WITH THE BUILDING OWNER, IF APPLICABLE.
- MINOR ITEMS AND ACCESSORIES REASONABLY INFERRED AS NECESSARY TO COMPLETE AND PROPERLY OPERATE ANY SYSTEM, SHALL BE PROVIDED BY THE RESPECTIVE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND/OR TENANT.
- THE CONTRACTORS SHALL INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.
- CONTRACTORS SHALL VERIFY AND COORDINATE WITH THE OWNER ALL FIXTURES AND EQUIPMENT TO BE FURNISHED BY OTHERS OR BY OWNER.
- STATEMENT OF COMPLIANCE: THE ATTACHED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED, OR CAUSED TO BE PREPARED, UNDER THE ARCHITECT'S DIRECT SUPERVISION, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE AND BELIEF, AND TO THE EXTENT OF CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES (PUBLIC LAW 101-336, JULY 26, 1991), AND TEXAS ACCESSIBILITY STANDARDS (v. 1994).
- GAPS BETWEEN DIFFERENT MATERIALS AND OR AT CORNERS SHALL BE THOROUGHLY SEALED.
- COLORS AND MATERIALS SHALL BE SELECTED BY OWNER UNLESS SPECIFICALLY NOTED OTHERWISE IN THESE DOCUMENTS.
- ALL OVERHEAD CONDUIT, UTILITIES, AND DUCT TO BE LOCATED ABOVE BOTTOM OF BAR JOIST WHENEVER POSSIBLE. HOLD TIGHT TO BOTTOM OF STRUCTURE.
- AT THE CONCLUSION OF THE WORK THE EXTERIOR AREA WILL BE CLEARED OF ALL CONSTRUCTION DEBRIS. ALL FOREIGN MATTER, MARKS, STAINS, FOREIGN PAINT AND DIRT WILL BE REMOVED FROM ALL SURFACES.

#### OWNER

HARMONY PUBLIC SCHOOLS  
9431 W. SAM HOUSTON PKWY. S  
SUITE 202  
HOUSTON, TX. 77099  
PH: 713.343.3333 EXT. 173  
CONTACT: MUSTAFA YAKIRAN

#### ARCHITECT

HEIGHTS VENTURE ARCHITECTS, L.L.P.  
1111 NORTH LOOP WEST, SUITE 800  
HOUSTON, TEXAS 77008  
PH: 713.869.1103  
FX: 713.869.5573  
CONTACT: LINDA LEONETTI

#### MEP ENGINEER

ADVANCED TECHNOLOGIES INC.  
13105 N.W. FREEWAY  
SUITE 600  
HOUSTON TEXAS 77040  
PH 713.896.6900  
PH 713.896.6992

#### CIVIL - STRUCTURE ENGINEER

ALJ LINDSEY  
CIVIL ENGINEERS  
6111 F.W. 1980 W., SUITE 208  
HOUSTON, TEXAS 77069  
PH: 281.301.5955  
FRN F-1 1526

6 CONTACT INFO

#### CODE JURISDICTION:

CITY OF BRYAN

#### EGRESS REQUIREMENTS:

OCCUPANCY LOAD  
6 CLASSROOMS AT 33 EACH = 198 O.L.  
EGRESS INCHES REQUIRED: = 60"  
EGRESS INCHES PROVIDED: =216"

#### APPLICABLE CODE INFORMATION:

2009 INTERNATIONAL BUILDING CODE  
2009 INTERNATIONAL EXISTING BUILDING CODE  
2009 INTERNATIONAL ENERGY CONSERVATION CODE  
2005 NATIONAL ELECTRIC CODE  
2009 INTERNATIONAL FIRE CODE  
2009 INTERNATIONAL MECHANICAL CODE  
2009 INTERNATIONAL PLUMBING CODE  
2009 FUEL GAS CODE

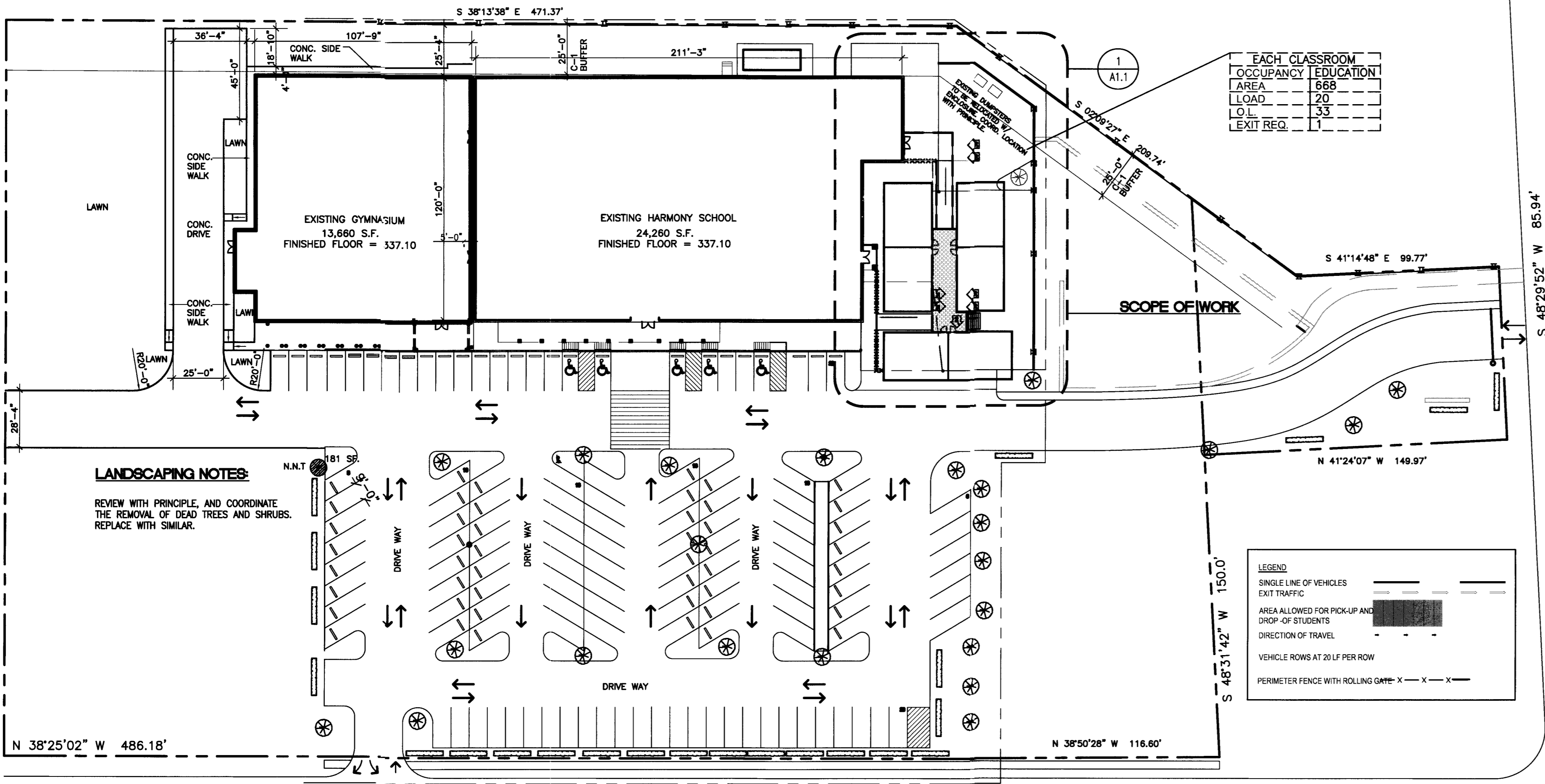
#### CONSTRUCTION TYPE AND FIRE SEPARATION:

EXISTING BUILDING: TYPE IIB  
MODULAR BUILDINGS: TYPE VB

#### BUILDING SEPARATION TABLE 602

TYP. IIB 10' < X < 30' = 0 HR.  
TYP. VB. 10' < TYP. VBX < 30' = 0 HR.

5 BUILDING CODES



9 SITE PLAN  
SCALE: 1"=40'

HARMONY SCIENCE ACADEMY  
2031 S. TEXAS AVENUE  
BRYAN, TEXAS 77802  
A PROJECT FOR COSMOS FOUNDATION, INC.

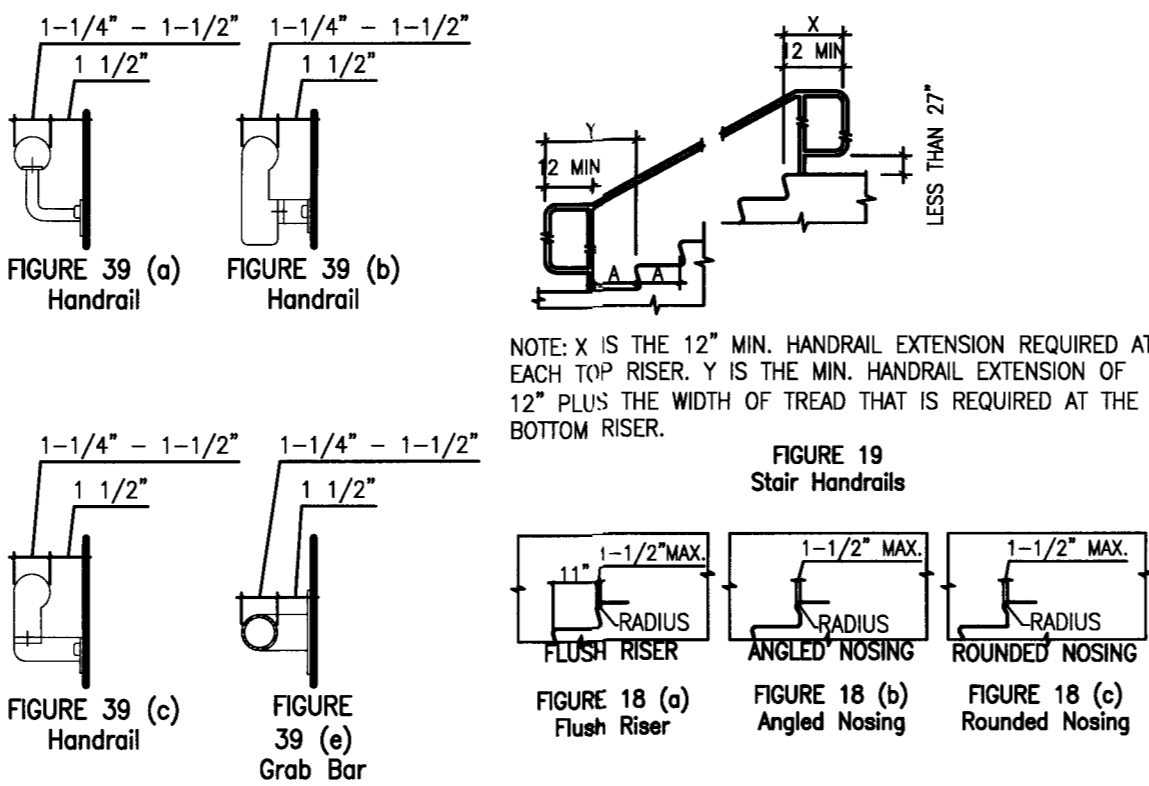
PROJECT NO. 12135-200  
DATE PLOTTED: 04-30-13  
CHECKED BY: SR  
DRAWN BY: LF  
FILE NAME:

SHEET TITLE  
TITLE SHEET  
SITE PLAN

SHEET NUMBER  
G1.0

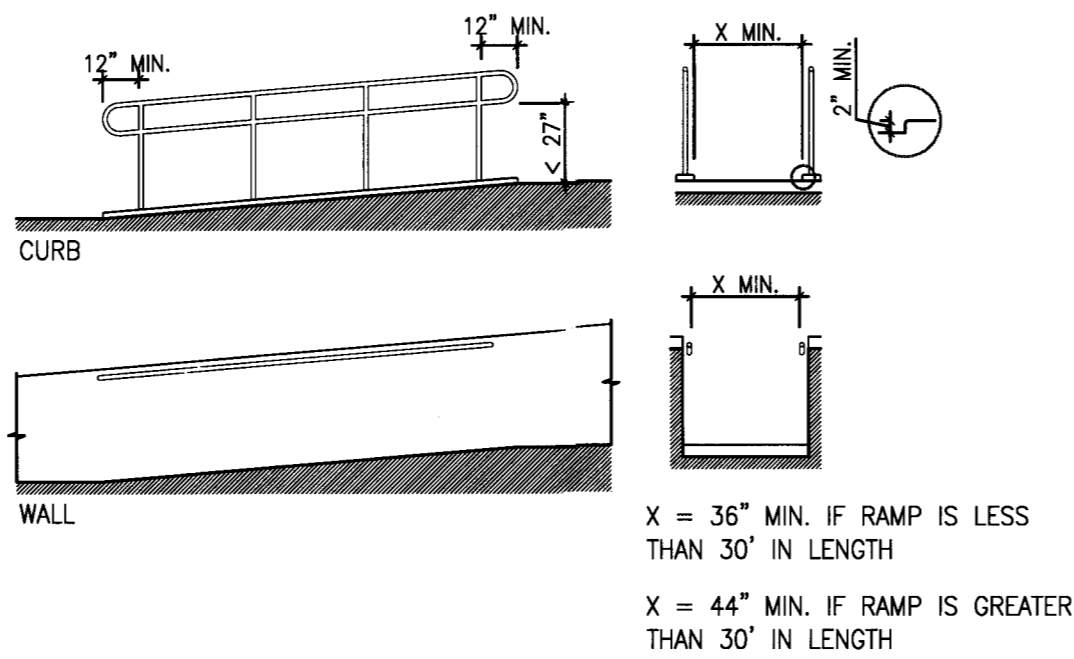
GENERAL NOTES:

- 1. SEE AMTEX MANUFACTURED PLANS FOR MODULAR BUILDING.
- 2. SEE SHEETS TD-1 FOR FOUNDATION PLANS.
- 3. SEE THIS SHEET A1.1 FOR T&S RAMP AND STAIRS DETAILS.
- 4. SEE SHEET E-1 FOR ELECTRICAL CONNECTIONS TO BUILDING.



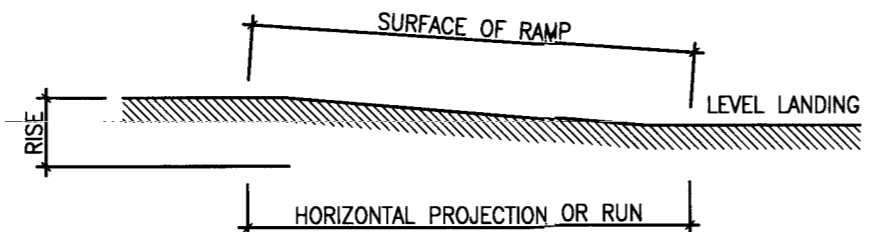
7 ADA HANDRAIL & TREAD DIMENSIONS

SCALE: NTS



6 ADA RAMP DETAIL

SCALE: 3/16" = 1'-0"

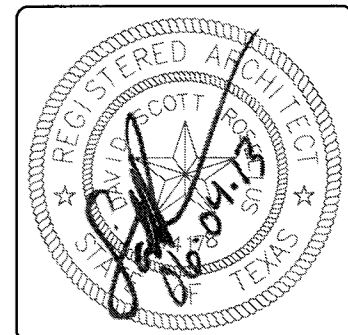
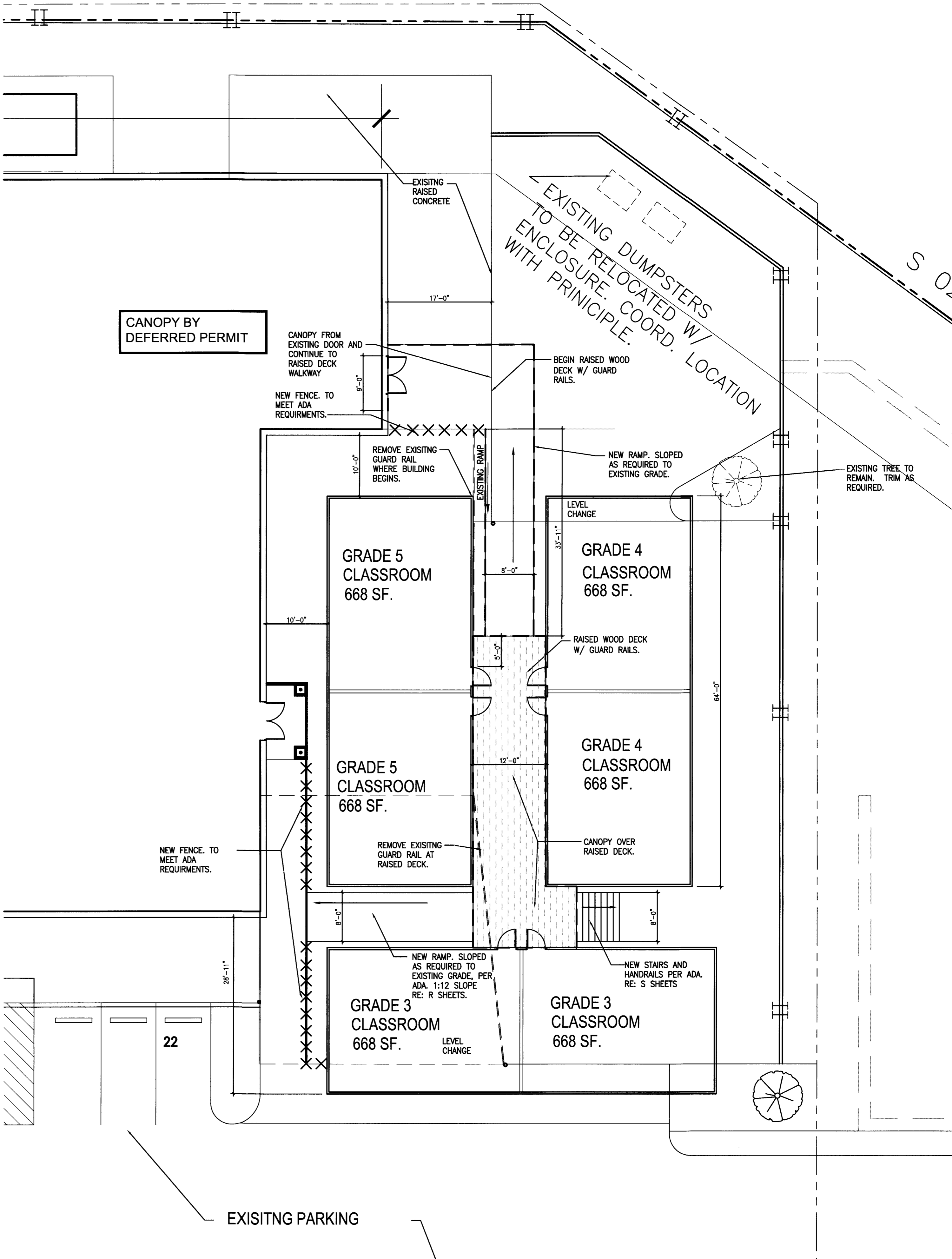


SLOPE	MAXIMUM RISE		MAXIMUM HORIZONTAL PROJECTION	
	in	mm	ft	m
1:12 TO < 1:16	30	760	30	9
1:16 TO < 1:20	30	760	40	12

COMPONENTS OF A SINGLE RAMP RUN AND SAMPLE RAMP DIMENSIONS  
NOTE: RE: 16.17/C1.1 FOR RAMP HANDRAIL DETAILS

5 ADA SINGLE RAMP RUN DETAIL

SCALE: 3/8" = 1'-0"



ISSUE DATES	
06-04-13	

HEIGHTS VENTURE ARCHITECTS, L.L.C.

1111 North Loop West, Suite 800  
Houston, Texas 77008  
713.868.1103 V

DALLAS: 1111 North Loop West, Suite 240  
Plano, Texas 75024  
972.487.7252 V

HARMONY SCIENCE ACADEMY

2031 S. TEXAS AVENUE  
BRYAN, TEXAS 77802

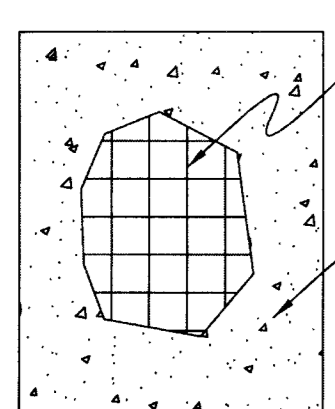
A PROJECT FOR COSMOS FOUNDATION, INC.

PROJECT NO. 12135-200  
DATE PLOTTED: 04-30-13  
CHECKED BY: BR  
DRAWN BY: LL  
FILE NAME:

SHEET TITLE  
ENLARGED  
SITE PLAN  
AND DETAILS

SHEET NUMBER  
A1.1

1 PARTIAL SITE PLAN  
SCALE: 1" = 10'



DRIVE WAY SURFACE  
NOT TO SCALE

SEAL WITH JOINT MATERIAL  
1/4" R

NON-EXTRUDING FILLER  
METAL CAP INSIDE DIAMETER  
TO BE 1/16" GREATER THAN  
DIAMETER OF DOWEL BAR

TYPE "G"  
EXPANSION & CONSTRUCTION JOINT

TO BE SPACED AT 40' INTERVALS & ALL RADIUS POINTS, P.C.'S,  
P.T.'S, & OPPOSITE P.I.'S, & ON ALL HORIZONTAL  
& VERTICAL CURVES

1/8" R SEAL WITH JOINT MATERIAL  
T = 6"

METAL KEYWAY PLATE DEFORMED TIE BARS  
#4 X 18", 24" O.C.

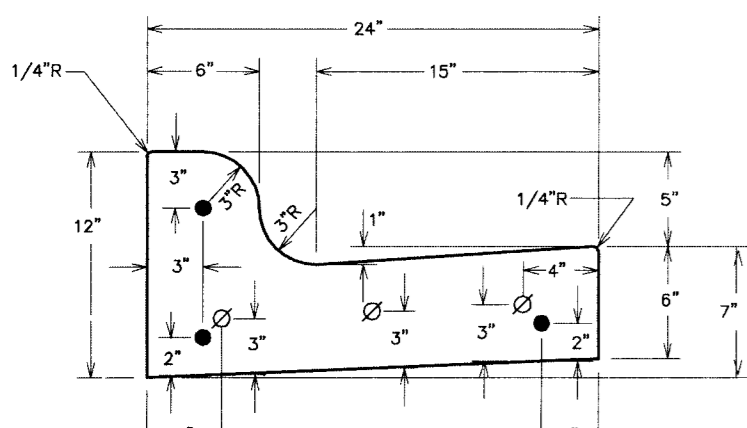
TYPE "D"  
LONGITUDINAL JOINT

LONGITUDINAL JOINTS SHALL BE REQUIRED ONLY ON THE  
CENTERLINE OF THE PAVEMENT & IN INTERSECTIONS

THIS CORNER IS LOCATED  
1225.67'-N 01°03'14" W  
FROM COB GPS-52

SITE BM-1  
CENTER OF MH  
N-10,222,289.51' NAD 83  
E-3,545,674.70' NAD 83  
ELEV 338.31' NAVD 88

NOTE:  
TYPE "G" EXPANSION JOINTS IN CURB & GUTTER  
SHALL BE SPACED AT A MAXIMUM DISTANCE OF  
60' APART AND AT ALL RADIUS POINTS, P.T.'S AND  
P.C.'S. TYPE "D" CONTRACTION JOINTS IN CURB &  
GUTTER SHALL BE SPACED AT A MAXIMUM  
DISTANCE OF 10' APART.



CURB AND GUTTER

TOWNSHIRE  
BLOCK 1  
PLATTED  
187/585

#45348

THIS CORNER IS LOCATED  
1489.41'-N 09°40'07" E  
FROM COB GPS-52

#25044

#25045

#25046

FIRST INSTALLMENT OF  
CULPEPPER MANOR  
(SOUTH HALF)  
PLATTED  
169/289

#25047

#25048

#77933

#25049

#25050

#25051

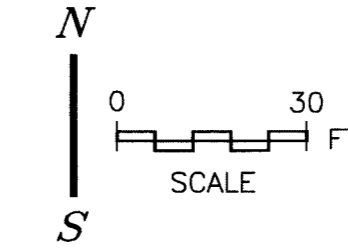
#25052

SITE BM-2  
NORTH COR. GRATE  
N-10,222,281.61' NAD 83  
E-3,545,867.85' NAD 83  
ELEV 334.84' NAVD 88

- LEGEND
- IR = IRON ROD
  - IP = IRON PIPE
  - CM = CONCRETE MARKER
  - MOC = MARK ON CONCRETE
  - CHP = CHIPPED
  - S = SET
  - F = FOUND
  - ROW = RIGHT OF WAY
  - PUE = PUBLIC UTILITY EASMT.
  - E = ELECTRICAL
  - PP = POWER POLE
  - LP = LIGHT POLE
  - WH = WATER
  - WV = WATER VALVE
  - SS = SANITARY SEWER
  - FI = FIRE HYDRANT
  - BOC = BACK OF CURB
  - EXIS = EXISTING
  - PROP = PROPOSED
  - TBR = TO BE REMOVED
  - JBI = SUBSURFACE JUNCTION BOX
  - 337 = EXISTING CONTOURS
  - 337 = PROPOSED CONTOURS



VICINITY MAP - NOT TO SCALE



CHRISTIAN A. GALINDO, P.E., R.P.L.S.  
JULY 30, 2010

PARKING

NO. OF PARKING SPACES IN EXISTING  
PROJECT: 130

WATER CONSUMPTION

DOMESTIC USE (GPM)	
MINIMUM	0
AVERAGE	10
MAXIMUM	40

SANITARY SEWER DEMAND

90% OF DOMESTIC WATER CONSUMPTION (GPM)	
MINIMUM	0
AVERAGE	9
MAXIMUM	36

LANDSCAPING ANALYSIS

LANDSCAPING REQUIRED	
TOTAL LOT AREA	72,300 S.F.
LANDSCAPING (15% OF DEV. AREA)	10,900 S.F.
POINTS REQUIRED	10,900
LANDSCAPING PROVIDED	
EXISTING CANOPY TREES	
CANOPY TREES	6x225 1350
NEW CANOPY TREES	
CANOPY TREES (GREATER THAN 3") (LIVE OAK)	12x350 4,200
NEW NON-CANOPY TREES	
NON-CANOPY TREES (1-1/2" TO 3") (MIMOSA, TEXAS BUCKEYE, CRABAPPLE, GRAPE MYRTLE, YAUPOIN)	20x150 3,000
NEW SHRUBS & BEDS	
SHRUBS & BEDS (2 GAL TO 15 GAL) (MIMOSA, TEXAS BUCKEYE, CRABAPPLE, GRAPE MYRTLE, YAUPOIN)	72x10 720
GROUND COVER	
MAX 15% LANDSCAPE REQUIREMENT	1,635
TOTAL POINTS PROVIDED	10,905

# HARMONY SCIENCE ACADEMY

2031 SOUTH TEXAS AVENUE

## SITE PLAN

1.8 ACRES - COVERING ONLY AREA WITHIN CLOUD

DATE: JUNE 17, 2010  
DESIGNED BY: RTC  
APPROVED BY: CAG  
REVISIONS: JULY 30, 2010

PART OF 5.1840 ACRES  
LOTS 2 AND 3, BLOCK 2  
TOWNSHIRE  
VOL. 187, PG. 585  
CITY, BRAZOS COUNTY, TEXAS

OWNER/DEVELOPER:  
OVER USUOCULARI, P.L.L.C.  
COSMOS FOUNDATION, INC.  
9431 W. SAM HOUSTON PKWY S  
SUITE 202  
HOUSTON, TX 77059-1849  
TEL: 713-777-8555  
FAX: 713-777-8555

ALINDO ENGINEERS AND PLANNERS, INC.  
3833 SOUTH TEXAS AVE., SUITE 213 BRYAN, TEXAS 77802 979-846-8868  
FIRM LICENSE: ENGINEERING F-1799, SURVEYING 100289-00

PROJECT  
7-10  
SHEET  
1 of 2